

**GENERAL NOTES**

1. THIS PLAN PROPOSES THE CONSTRUCTION OF A 2 STORY EDUCATIONAL FACILITY ON THE VACANT LAND ON THE PROPERTY ADDRESS 617 CASTLE STREET, WILMINGTON, NORTH CAROLINA 28401. THE PROPERTY IS ZONED MSMU (MAIN STREET MIXED USE DISTRICT) AND IDENTIFIED BY PID: R05409-006-012-000. THE BOUNDARY DATA SHOWN WAS SURVEYED FROM DB 5818, PG 0253 AND MAP BOOK 11, PAGE 11. ADJOINING PROPERTY INFORMATION IS SHOWN HEREON.
2. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE DEVELOPER OR HIS AGENT OF ANY LEGAL RESPONSIBILITY WHICH MAY BE REQUIRED BY THE CITY OF WILMINGTON.
3. ALL UNDERGROUND UTILITIES WITHIN STREET RIGHT-OF-WAYS SHALL BE INSTALLED TO THE REQUIRED DISTANCE BEYOND THE RIGHT-OF-WAY LINE PRIOR TO THE INSTALLATION OF ANY SUB MATERIAL, CURB AND GUTTER, OR SIDEWALK.
4. THE CONTRACTOR SHALL ARRANGE FOR THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE CONSTRUCTION INCLUDING TEST HOLES TO PHYSICALLY LOCATE UNDERGROUND UTILITIES AS NECESSARY. RESULTS OF TEST PITS SHALL BE PROVIDED TO THE ENGINEER FOR CONFORMANCE PRIOR TO CONSTRUCTION.
5. THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES, AS SHOWN HEREON, ARE APPROXIMATE ONLY. NO GUARANTEE IS HEREIN MADE OR IMPLIED THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN. IT SHALL BE THE CONTRACTOR'S AND/OR THE OWNER'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES AND TO VERIFY THE TYPE, SIZE, LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING THE WORK.
6. PUBLIC STREETS ARE DESIGNED TO THE CITY OF WILMINGTON TECHNICAL STANDARDS AND SPECIFICATIONS.
7. THIS PLAN MAKES NO REPRESENTATION AS TO SUBSURFACE CONDITIONS AND THE PRESENCE OF SUBSURFACE WATER OR THE NEED FOR SUBSURFACE DRAINAGE FACILITIES.
8. THE APPROVAL OF THESE PLANS SHALL NOT RELIEVE THE OWNER/DEVELOPER OF COMPLYING WITH NORTH CAROLINA STATE BUILDING AND HANDICAPPED ACCESSIBILITY CODE VOL. 1C.
9. ALL CONSTRUCTION SHALL CONFORM TO CITY OF WILMINGTON TECHNICAL STANDARDS AND SPECIFICATIONS.
10. APPROVAL OF THIS PLAN DOES NOT GRANT APPROVAL TO TRESPASS ON THE OFF SITE PROPERTY.
11. ALL WORK MUST COMPLY WITH NORTH CAROLINA STATE BUILDING AND HANDICAPPED ACCESSIBILITY CODE VOL. 1C.
12. THIS PROJECT IS NOT WITHIN A FLOOD PLAIN.
13. CONSTRUCTION OF UTILITIES SHALL MEET ALL REQUIREMENTS AND SPECIFICATIONS OF THE CAPE FEAR PUBLIC UTILITY AUTHORITY.
14. PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
15. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
16. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT(48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
17. ANY BROKEN OR MISSING SIDEWALK PANELS, BRICK PAVERS IN THE SIDEWALK AREA OR CURB WILL BE REPLACED, IN CONFORMANCE WITH CITY OF WILMINGTON REQUIREMENTS AND SPECIFICATIONS.
18. SILT FENCE SHALL BE PLACED ALONG THE PROPERTY LINE TO SURROUND THE ENTIRE PARCEL.
19. TOPOGRAPHIC DATUM NGVD '29.
20. ALL ROOF RUNOFF SHALL BE DIRECTED AWAY FROM ADJACENT PROPERTY OWNERS AND DIRECTED TOWARD THE CITY STREET. (VIA GUTTER AND DOWN SPOUTS)
21. SITE INVENTORY IS NOT REQUIRED DUE TO THE SITE DISTURBANCE BEING LESS THAN ONE(1) ACRE PER YEAR.
22. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
23. TRASH DISPOSAL WILL BE CURB-SIDE PICKUP.
24. CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.
25. IF EXISTING SANITARY LATERAL IS LOCATED CONTRACTOR SHALL NOTIFY ENGINEER FOR MODIFICATION TO SANITARY LATERAL CONNECTION.
26. SOLID WASTE WILL BE ETARY LATE89:119?NCLOSED WITHIN THE PROPOSED STRUCTURE.
27. HVAC EQUIPMENT, AIR CONDITION WINDOW UNITS, AND OTHER ELECTRICAL EQUIPMENT SHALL NOT BE LOCATED ON THE STREET FRONTS AND SHALL BE SCREENED FROM THE RIGHT-OF-WAY.
28. UTILITY METERS AND TRANSFORMERS THAT CANNOT BE CONCEALED FROM THE PUBLIC RIGHT OF WAY SHALL BE SCREENED WITH AN OPAQUE FENCE OR WALL. THIS NOTE DOES NOT PERTAIN TO WATER METERS.
29. A TREE REMOVAL PERMIT IS NOT REQUIRED.
30. A FEDERAL, STATE, AND LOCAL PERMITS ARE REQUIRED PRIOR TO FULL CONSTRUCTION RELEASE. THIS INCLUDES BUT IS NOT LIMITED TO: STATE STORM WATER, STATE UTILITY EXTENSION PERMITS, WETLAND DISTURBANCE PERMITS, CITY STORM WATER, TREE PROTECTION PERMITS, ETC.
31. ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER.
32. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910.341.588 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN, BUT MAY BE REQUIRED.
33. IF THE EXISTING SIDEWALK IS DAMAGED DURING CONSTRUCTION, CONTRACTOR TO REPLACE THE SIDEWALK TO A THICKNESS OF 6".
34. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
35. PROJECT SHALL COMPLY WITH CPFLUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 332-6550 FOR INFORMATION.
36. IF THE CONTRACTOR DESIRES CPFLUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
37. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CPFLUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCOHR OR ASSE.
38. THE EXISTING SANITARY SEWER CLEANOUT SHOWN WITHIN THE SIDEWALK WILL BE LEVEL WITH THE NEW CONCRETE.
39. IF GARAGES ARE PROVIDED, SHOULD THEY EVER BE MODIFIED SUCH THAT A VEHICLE CANNOT PARK WITHIN THE GARAGE, THEN THE DRIVEWAY APRON SHALL BE REMOVED AND THE AREA RESTORED WITH THE APPROPRIATE CURBING.

**SITE DATA TABULATIONS:**

PROPERTY OWNER	KIDS MAKING INC
PROPERTY ADDRESS	617 CASTLE STREET WILMINGTON, NC 28401
PROPERTY ZONING	MSMU
ADJACENT PARCELS ZONING	MSMU MERCANTILE
PROPOSED USE	
SETBACKS	
REQUIRED	
NEW BUILDINGS SHALL BE CONSTRUCTED TO ALIGN WITH THE PREDOMINANT EXISTING SETBACK OF THE BLOCK FACE, OR IF NO PREDOMINANT SETBACK EXISTS, THEN CONSTRUCTION SHALL ALIGN WITH STREET RIGHT-OF-WAY	
SIDE SETBACK	NONE
REAR SETBACK	NONE
PROVIDED	
FRONT SETBACK	0.0 FT
SIDE SETBACK	0.0 FT
REAR SETBACK	20.0 FT
TOTAL SITE AREA (INCLUDING EXISTING BUILDING)	0.18 AC/7840.8 SF
SQUARE FOOTAGE CALCULATIONS:	
EXISTING BUILDING FOOTPRINT SIZE:	4807 SF
PROPOSED BUILDING FOOTPRINT SIZE:	2375 SF
GROUND LEVEL	2375 SF
2ND FLOOR	2277 SF
TOTAL SQUARE FOOTAGE	4652 SF
NUMBER OF STORIES	2
BUILDING HEIGHT:	
HEIGHT REQUIREMENT (MAX.)	40 FT
BUILDING HEIGHT PROVIDED	30 FT
(PER CITY CODE SEC. 18-193.(e).(1).i)	
EXISTING IMPERVIOUS AREA	NONE
PROPOSED IMPERVIOUS AREA	NONE
PROPOSED BUILDING FOOTPRINT	2375 SF
LOT COVERAGE:	
REQUIRED	NONE
PROVIDED	90%
STREET TREES	(1) FOR EVERY 30 FT
OFF STREET PARKING:	
MINIMUM PARKING REQUIRED	0
MAXIMUM PARKING REQUIRED	0
TOTAL PARKING PROVIDED	0
CAMA LAND USE CLASSIFICATION	URBAN
OVERLAY DISTRICTS	
FLOOD PLAIN-OVERLAY DISTRICT	NO
SPECIAL HIGHWAY OVERLAY DISTRICT	NO
DANSON-WOOSTER CORRIDOR REGULATIONS	NO
WRIGHTSVILLE AVE. CORRIDOR REGULATIONS	NO
SOUTH 17TH ST./INDEPENDENCE BLVD	NO
CORRIDOR REGULATIONS	NO
HISTORIC DISTRICT-OVERLAY	NO
CONSERVATION OVERLAY DISTRICT	NO
UTILITY OWNERSHIP:	
WATER MAIN UTILITY	CPFLUA
SANITARY SEWER MAIN UTILITY	CPFLUA
UTILITY DEMAND:	SEE ATTACHED



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**Approved Construction Plan**

Name	Date
Planning	
Traffic	
Fire	

**DRAINAGE PLAN APPROVED**  
CITY OF WILMINGTON  
STORMWATER DISCHARGE PERMIT NOT REQUIRED

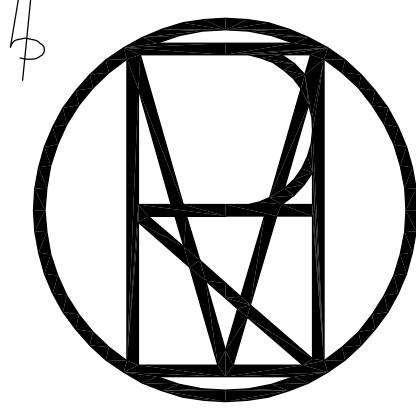
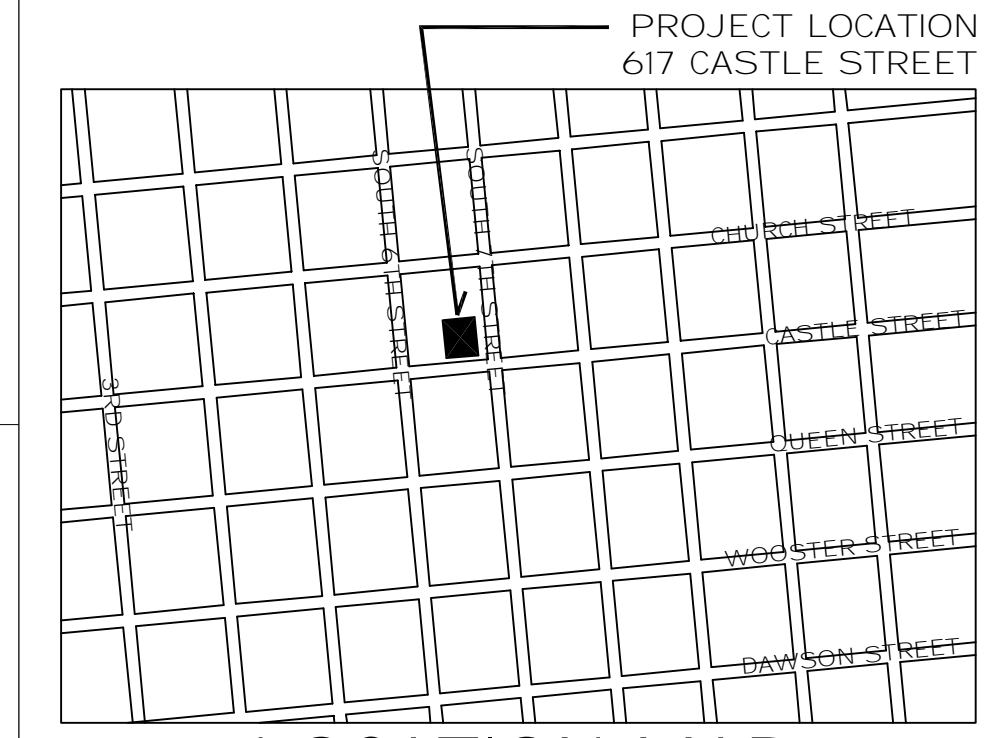
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**SITE PLAN FOR KIDS MAKING IT**

BEING LOT 5 & 6 AS RECORDED IN MAP BOOK 11, PAGE 11 AND BOOK 5818, PAGE 0253 OF THE NEW HANOVER COUNTY REGISTRY CITY OF WILMINGTON IDENTIFIED BY PID: R05409-006-012-000 WILMINGTON TOWNSHIP - WILMINGTON NEW HANOVER COUNTY - NORTH CAROLINA SCALE: 1" = 10' JUNE 5, 2017

EXCLUSIVELY FOR: KIDS MAKING IT 617 CASTLE STREET WILMINGTON, NORTH CAROLINA 28401

PREPARED BY:

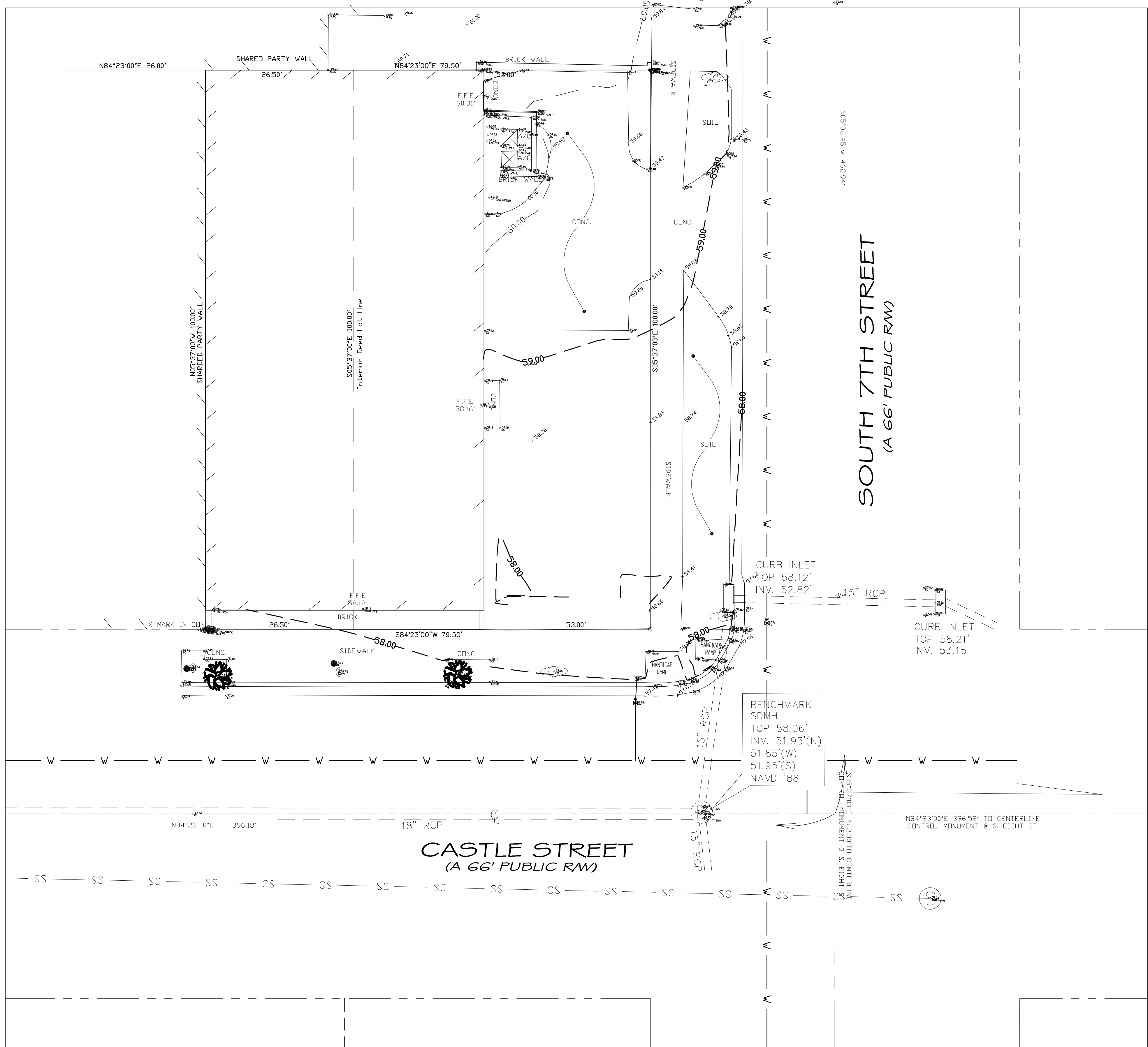


**ROMERO ARCHITECTURE**  
209 martin street, #103  
wilmington, north carolina 28401  
910.228.3137  
www.romeroarchitecture.com

**LEGEND**

- ⊕ FIRE HYDRANT
- EXISTING MONUMENT
- EXISTING IRON
- SET IRON
- ⊠ SET "X" IN BRICK
- ⊕ STORM DRAIN MANHOLE
- ⊖ STORM DRAIN DROP INLET
- ⊕ STORM DRAIN CURB INLET
- ⊕ SANITARY SEWER CLEAN OUT
- ⊕ NEW STREET LIGHT POLE
- ⊕ EXISTING STREET LIGHT POLE
- - - - - EXISTING FENCE
- - - - - CENTER LINE
- - - - - ROAD RIGHT OF WAY LINE
- - - - - SUBJECT BOUNDARY LINE
- - - - - ADJACENT PROPERTY LINE
- - - - - CONTOUR LINE





SITE DATA TABULATIONS:

PROPERTY OWNER	KIDS MAKING INC
PROPERTY ADDRESS	617 CASTLE STREET
	WILMINGTON, NC 28401
PROPERTY ZONING	MSMU
ADJACENT PARCELS ZONING	MSMU
PROPOSED USE	MERCANTILE
TOTAL SITE AREA	0.18 AC/7840.8 SF
SQUARE FOOTAGE CALCULATIONS:	
EXISTING BUILDING FOOTPRINT SIZE:	4807 SF
PROPOSED BUILDING FOOTPRINT SIZE:	2375 SF
GROUND LEVEL	2375 SF
2ND FLOOR	2277 SF
TOTAL SQUARE FOOTAGE	4652 SF
NUMBER OF STORIES	2
EXISTING IMPERVIOUS AREA	1362 (IN AREA OF NEW CONSTRUCTION - NOT ENTIRE SITE)
PROPOSED IMPERVIOUS AREA	2375 SF (NEW BUILDING ONLY - EXISTING CONCRETE TO REMAIN)



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**Approved Construction Plan**

Name	Date
Planning	
Traffic	
Fire	

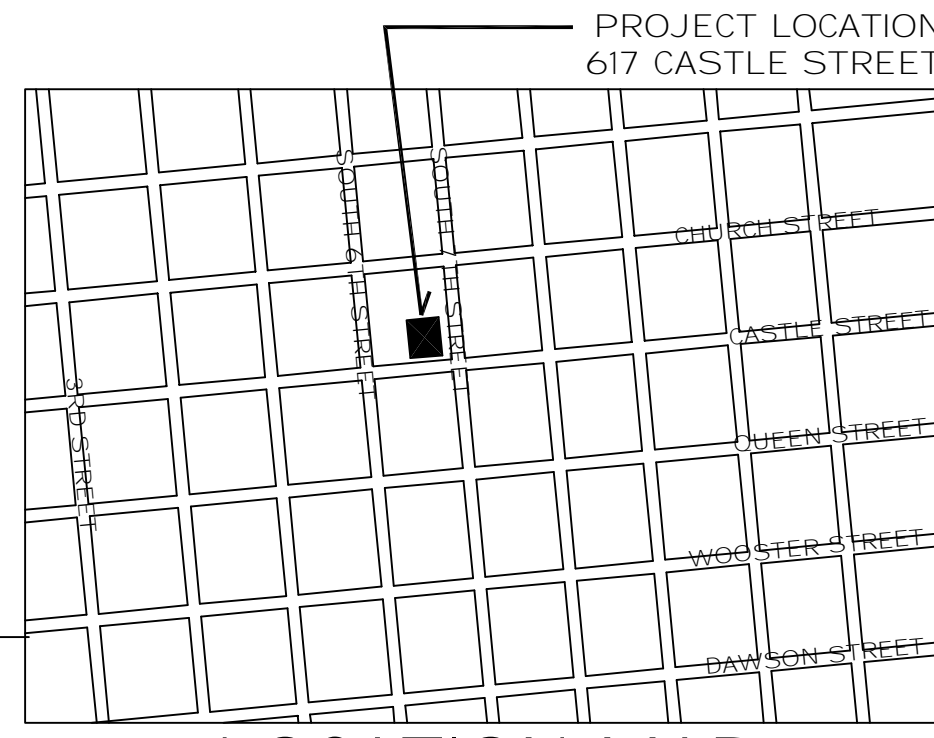
**DRAINAGE PLAN APPROVED**  
CITY OF WILMINGTON  
STORMWATER DISCHARGE PERMIT NOT REQUIRED

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

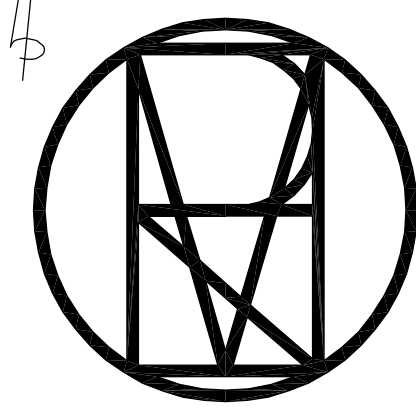
**EXISTING CONDITIONS SITE PLAN FOR KIDS MAKING IT**

BEING LOT 5 & 6 AS RECORDED IN MAP BOOK II, PAGE II AND BOOK 5818, PAGE 0253 OF THE NEW HANOVER COUNTY REGISTRY CITY OF WILMINGTON IDENTIFIED BY PID: R05409-006-012-000 WILMINGTON TOWNSHIP - WILMINGTON NEW HANOVER COUNTY - NORTH CAROLINA JUNE 26, 2017

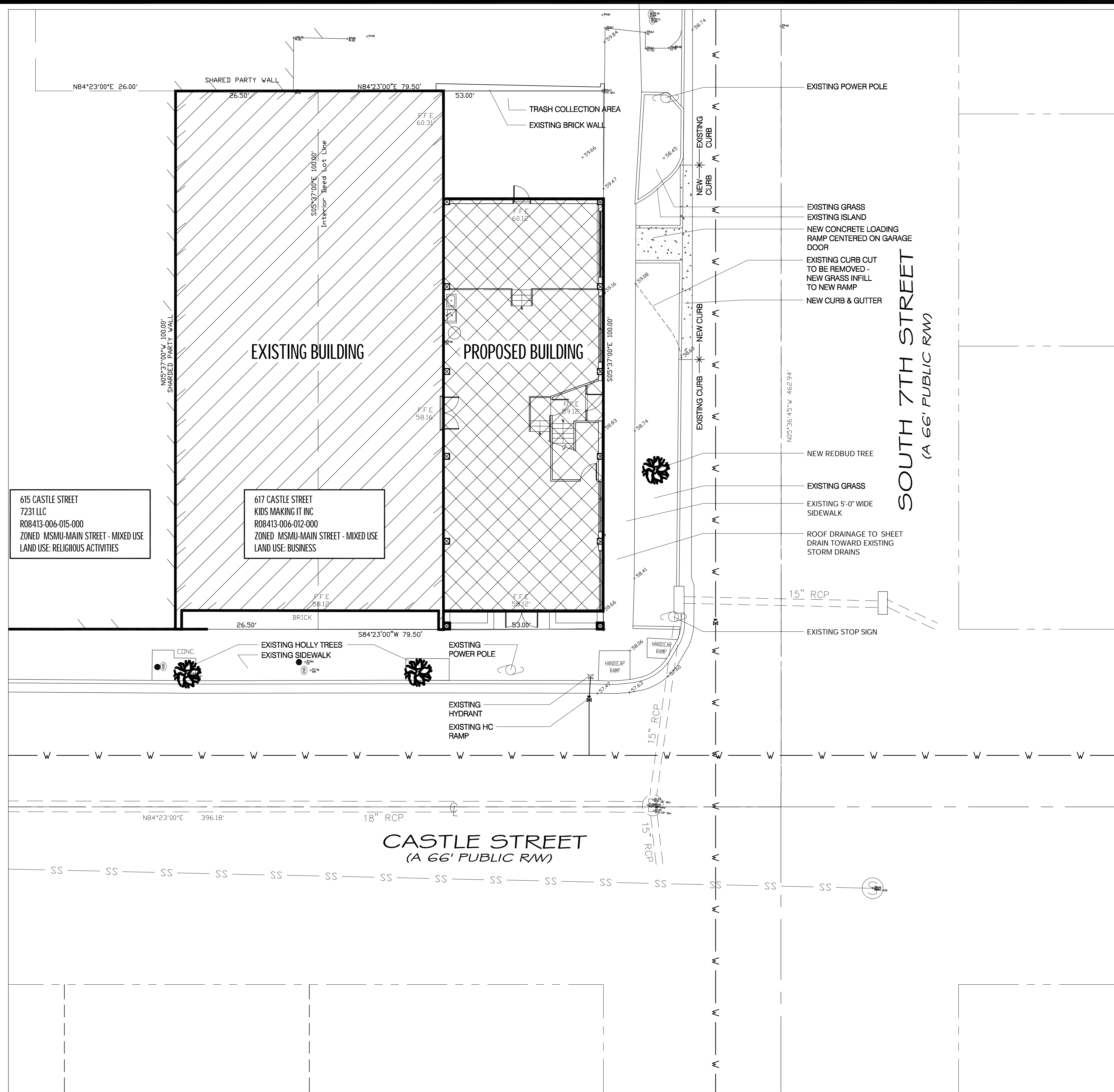
EXCLUSIVELY FOR: KIDS MAKING IT 617 CASTLE STREET WILMINGTON, NORTH CAROLINA 28401



- LEGEND**
- FIRE HYDRANT
  - EXISTING MONUMENT
  - EXISTING IRON
  - SET IRON
  - SET "X" IN BRICK
  - STORM DRAIN MANHOLE
  - STORM DRAIN DROP INLET
  - STORM DRAIN CURB INLET
  - SANITARY SEWER CLEAN OUT
  - NEW STREET LIGHT POLE
  - EXISTING STREET LIGHT POLE
  - EXISTING FENCE
  - CENTER LINE
  - ROAD RIGHT OF WAY LINE
  - SUBJECT BOUNDARY LINE
  - ADJACENT PROPERTY LINE
  - CONTOUR LINE



**ROMERO ARCHITECTURE**  
209 martin street, #103  
wilmington, north carolina 28401  
910.228.3137  
www.romeroarchitecture.com



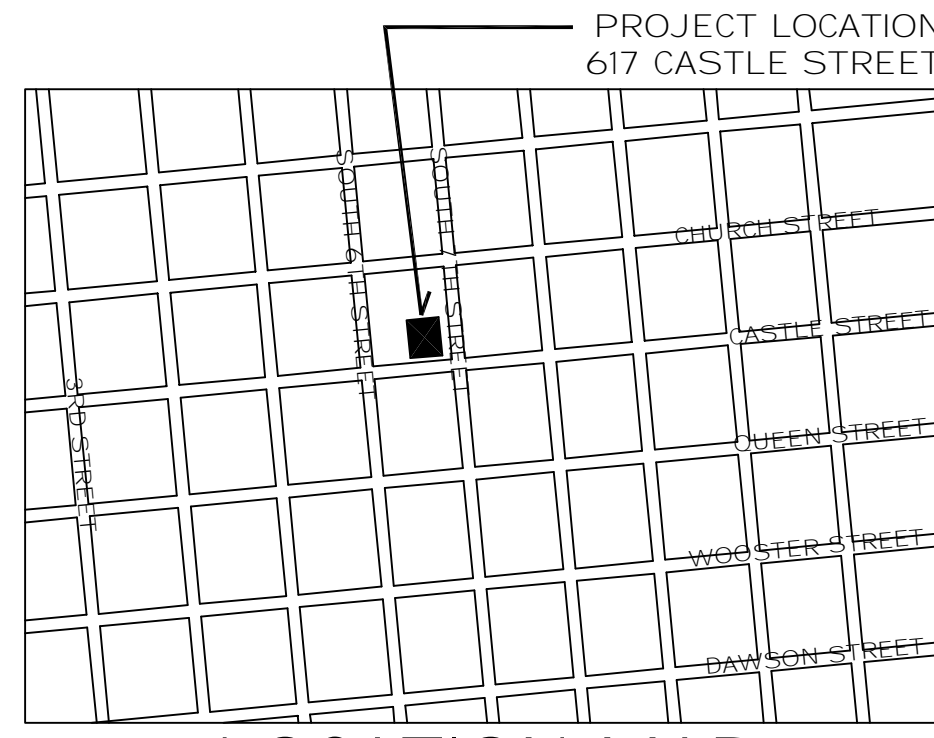
615 CASTLE STREET  
7231 LLC  
R08413-006-015-000  
ZONED MSMU-MAIN STREET - MIXED USE  
LAND USE: RELIGIOUS ACTIVITIES

617 CASTLE STREET  
KIDS MAKING IT INC  
R08413-006-012-000  
ZONED MSMU-MAIN STREET - MIXED USE  
LAND USE: BUSINESS



**LEGEND**

- ⊕ FIRE HYDRANT
- ◻ EXISTING MONUMENT
- EXISTING IRON
- SET IRON
- ⊠ SET "X" IN BRICK
- ⊕ STORM DRAIN MANHOLE
- ⊞ STORM DRAIN DROP INLET
- ⊞ STORM DRAIN CURB INLET
- ⊕ SANITARY SEWER CLEAN OUT
- ⊕ NEW STREET LIGHT POLE
- ⊕ EXISTING STREET LIGHT POLE
- x --- EXISTING FENCE
- - - - - CENTER LINE
- - - - - ROAD RIGHT OF WAY LINE
- - - - - SUBJECT BOUNDARY LINE
- - - - - ADJACENT PROPERTY LINE
- - - - - CONTOUR LINE



LOCATION MAP  
NOT TO SCALE



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

**DRAINAGE PLAN APPROVED**  
CITY OF WILMINGTON  
STORMWATER DISCHARGE PERMIT NOT REQUIRED

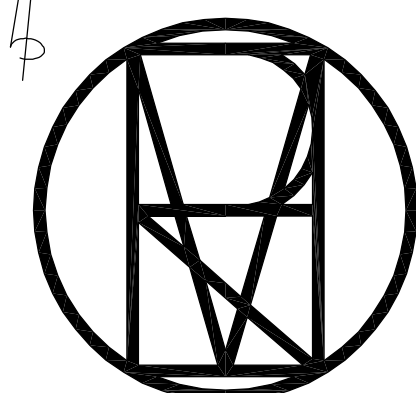
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**DRAINAGE SITE PLAN FOR KIDS MAKING IT**

BEING LOT 5 & 6 AS RECORDED IN MAP BOOK 11, PAGE 11 AND BOOK 5818, PAGE 0253 OF THE NEW HANOVER COUNTY REGISTRY CITY OF WILMINGTON IDENTIFIED BY PID: R05409-006-012-000 WILMINGTON TOWNSHIP - WILMINGTON NEW HANOVER COUNTY - NORTH CAROLINA SCALE: 1" = 10' JUNE 5, 2017

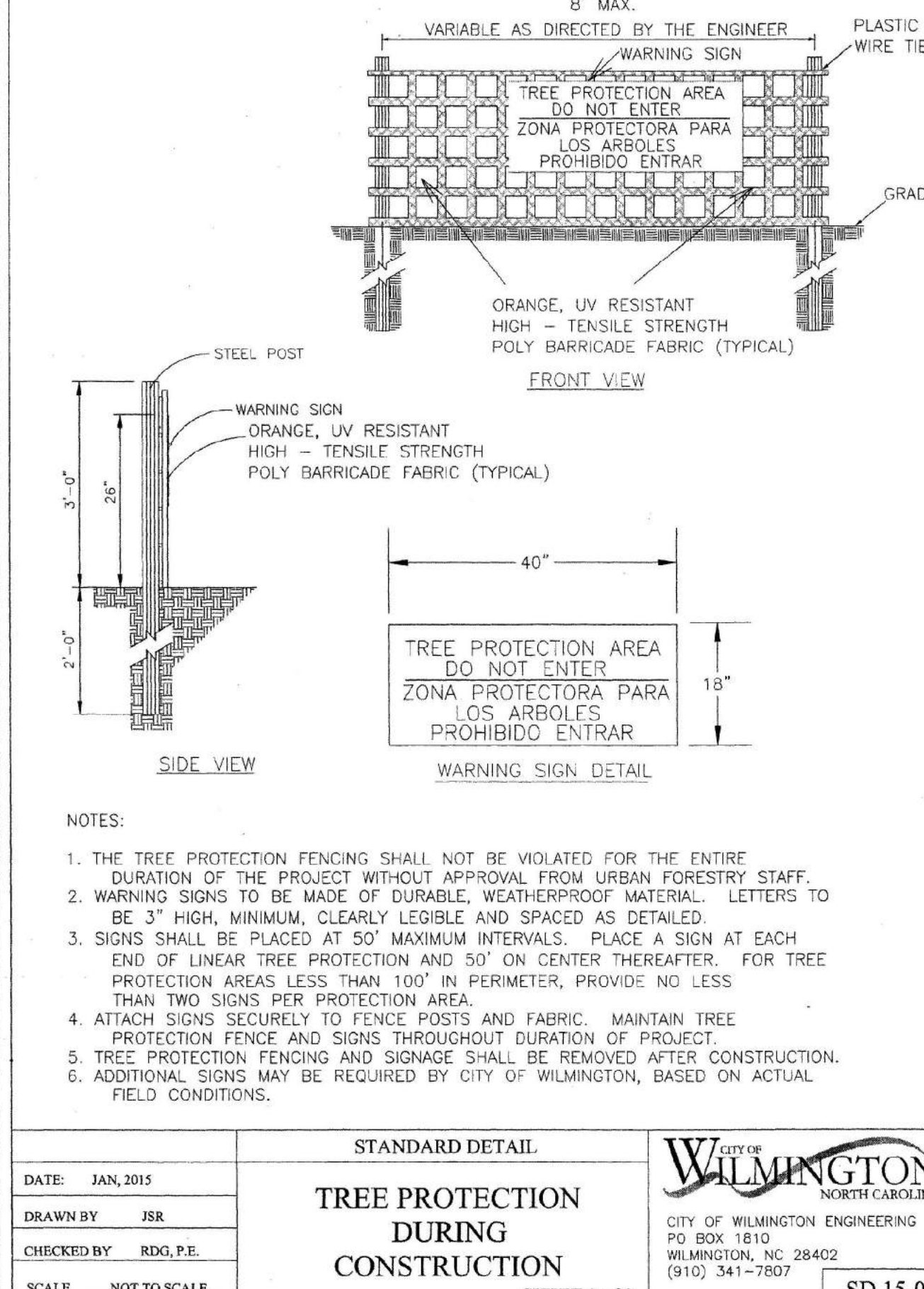
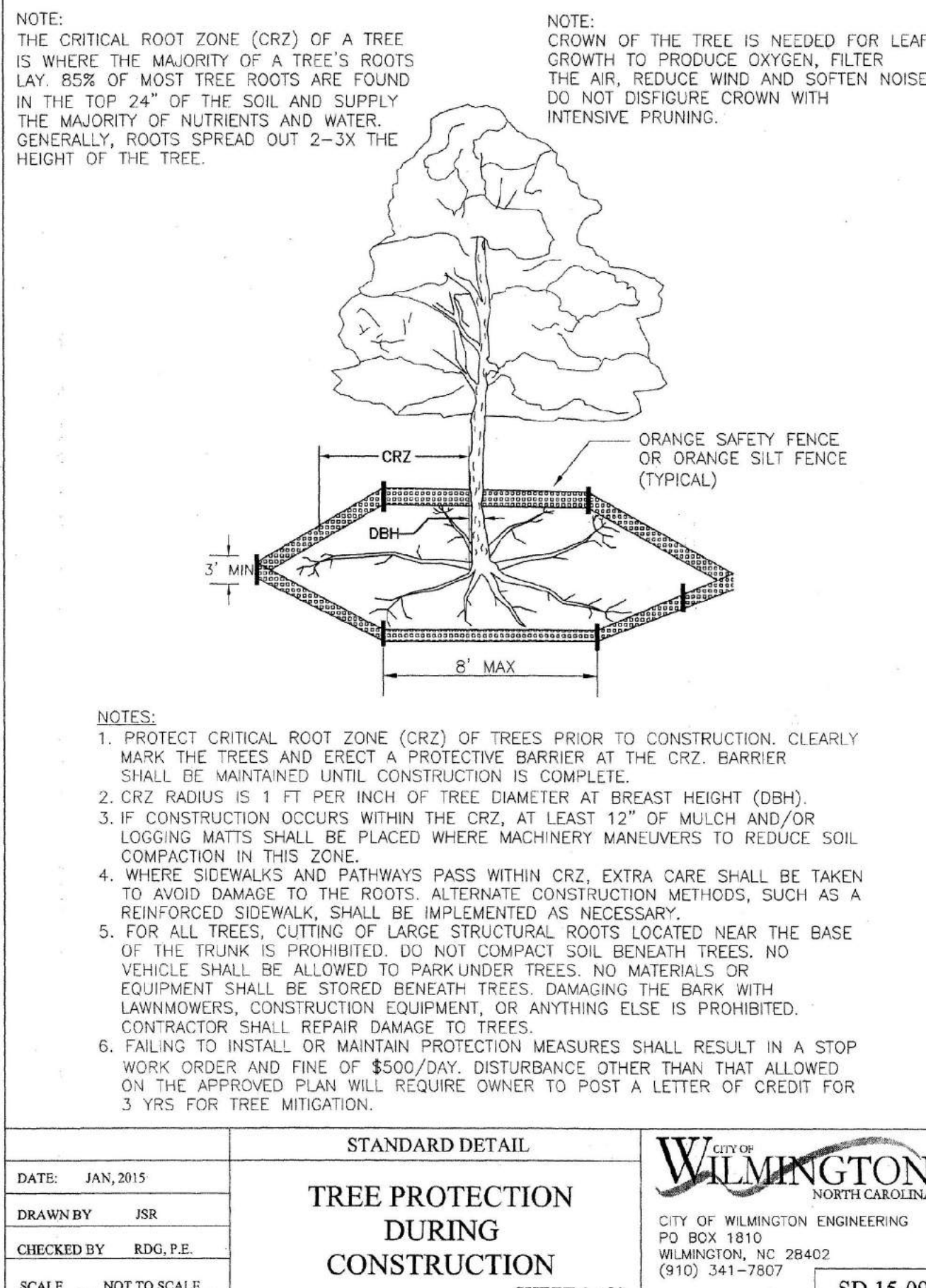
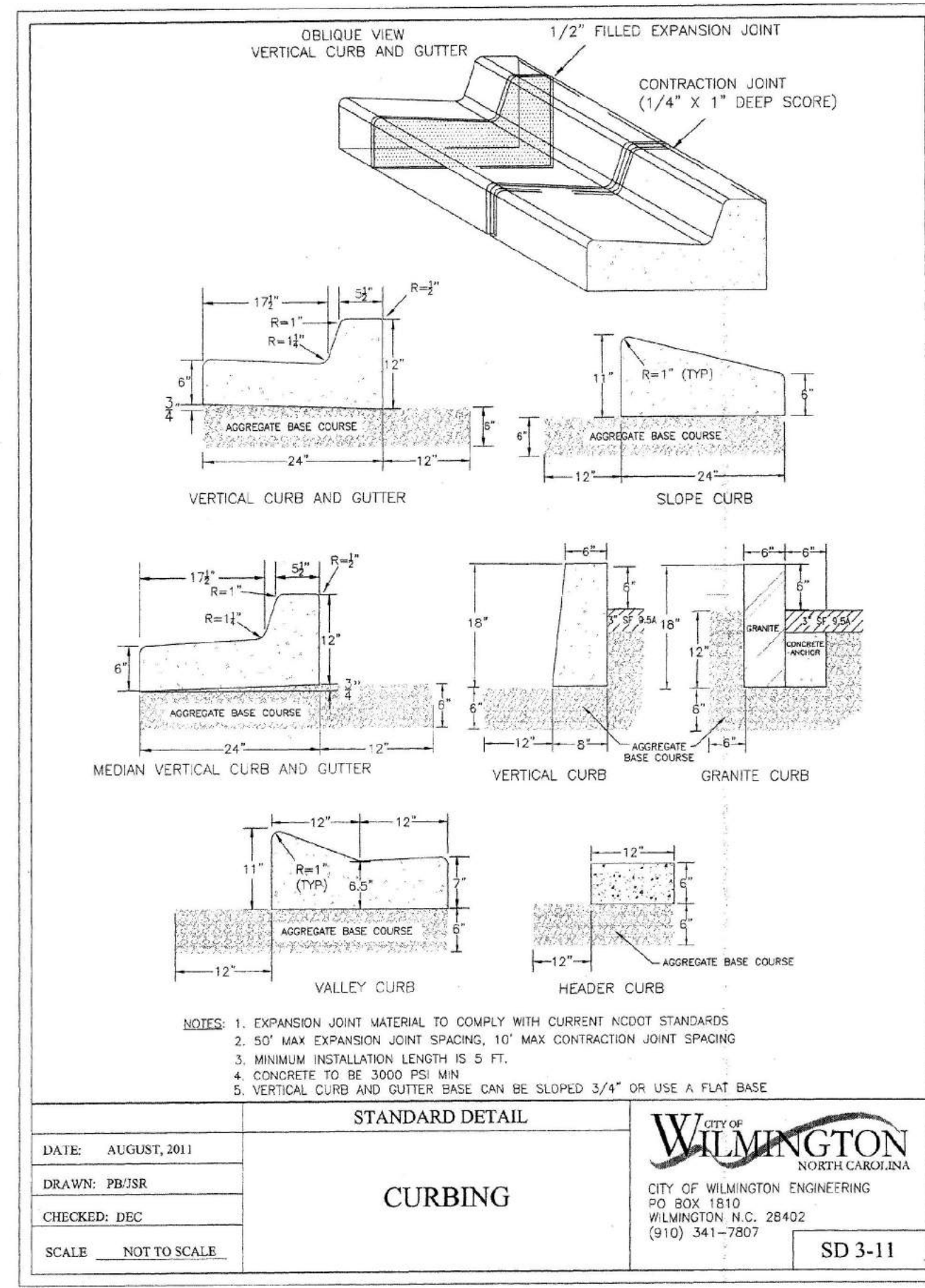
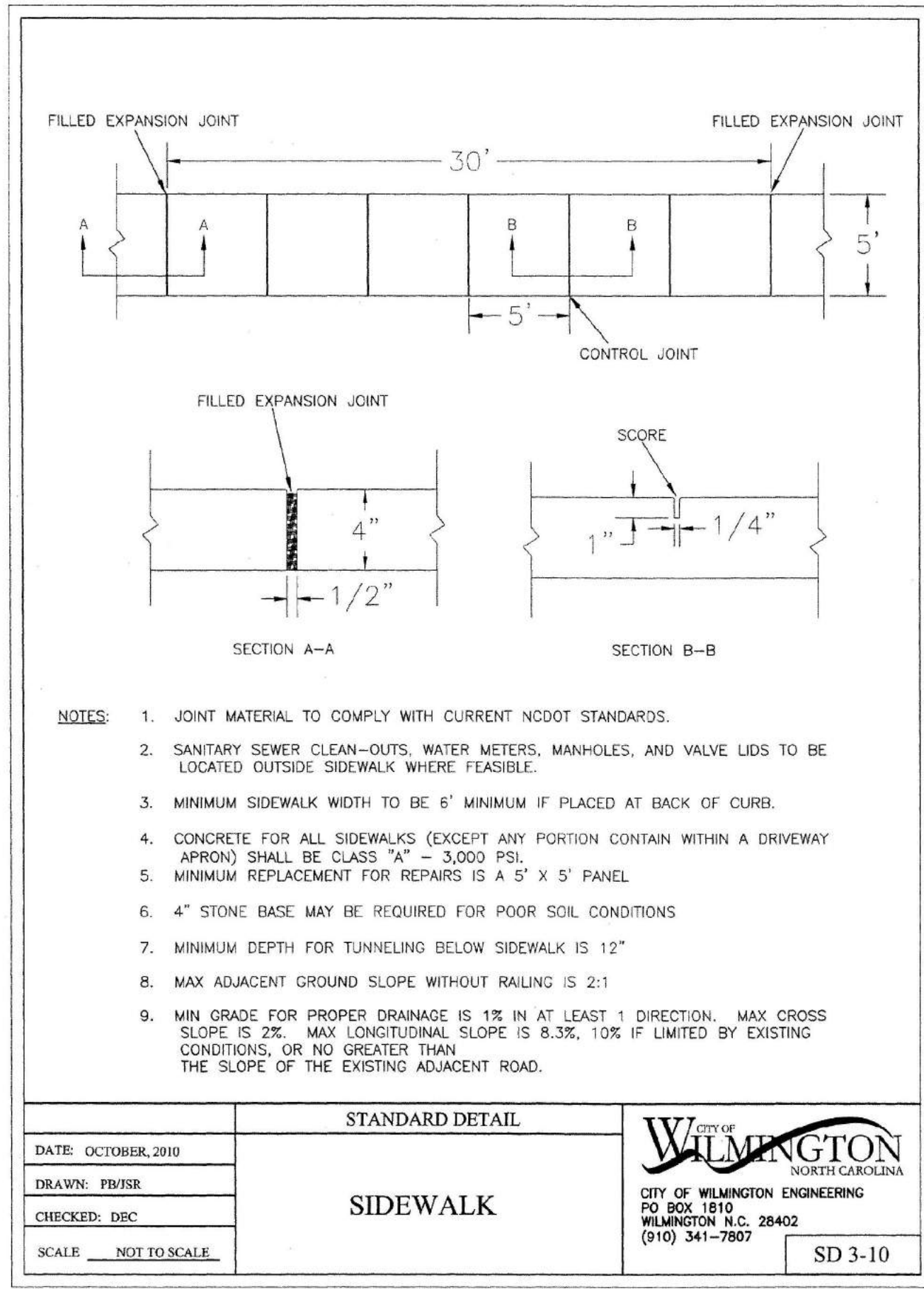
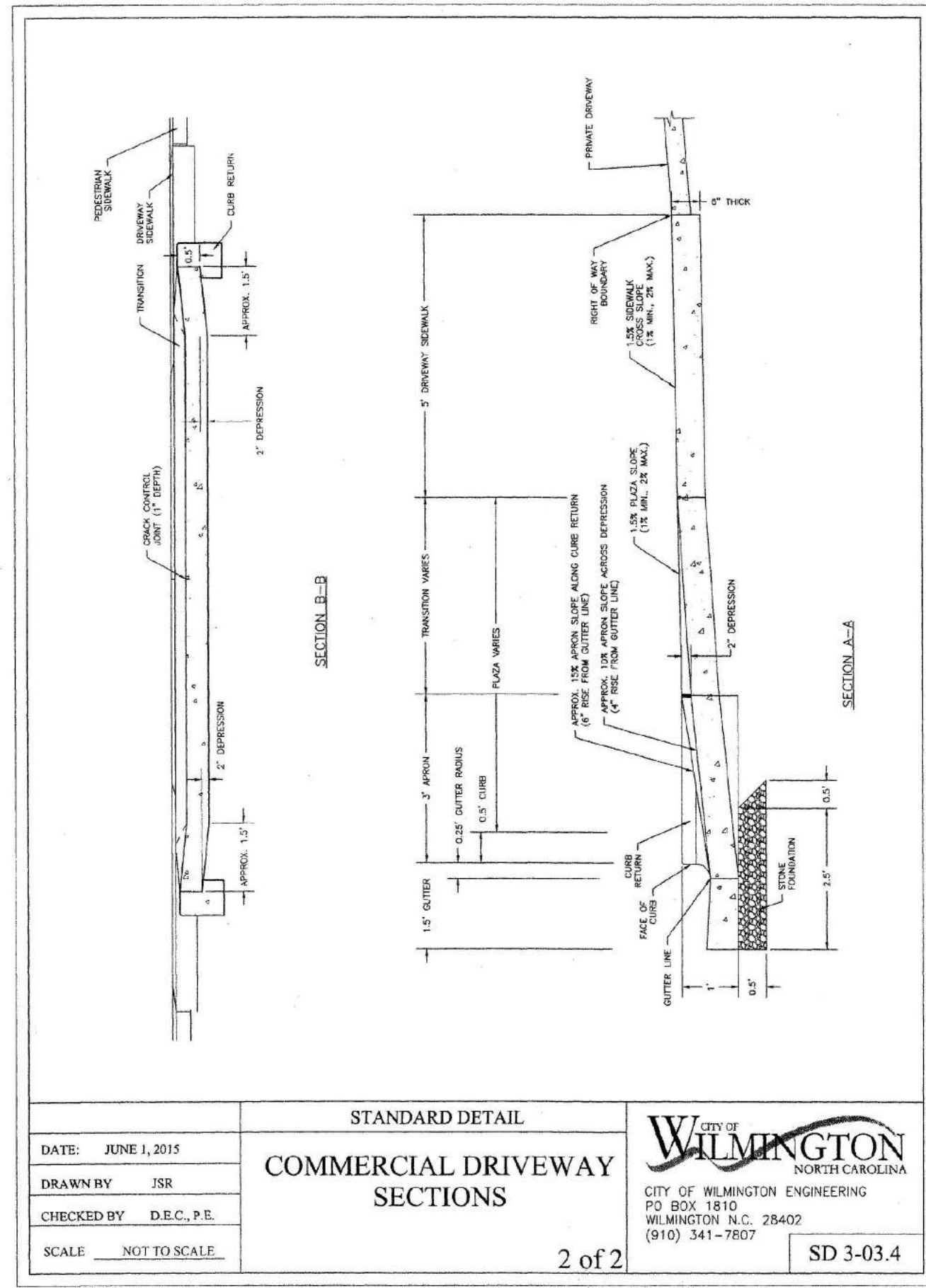
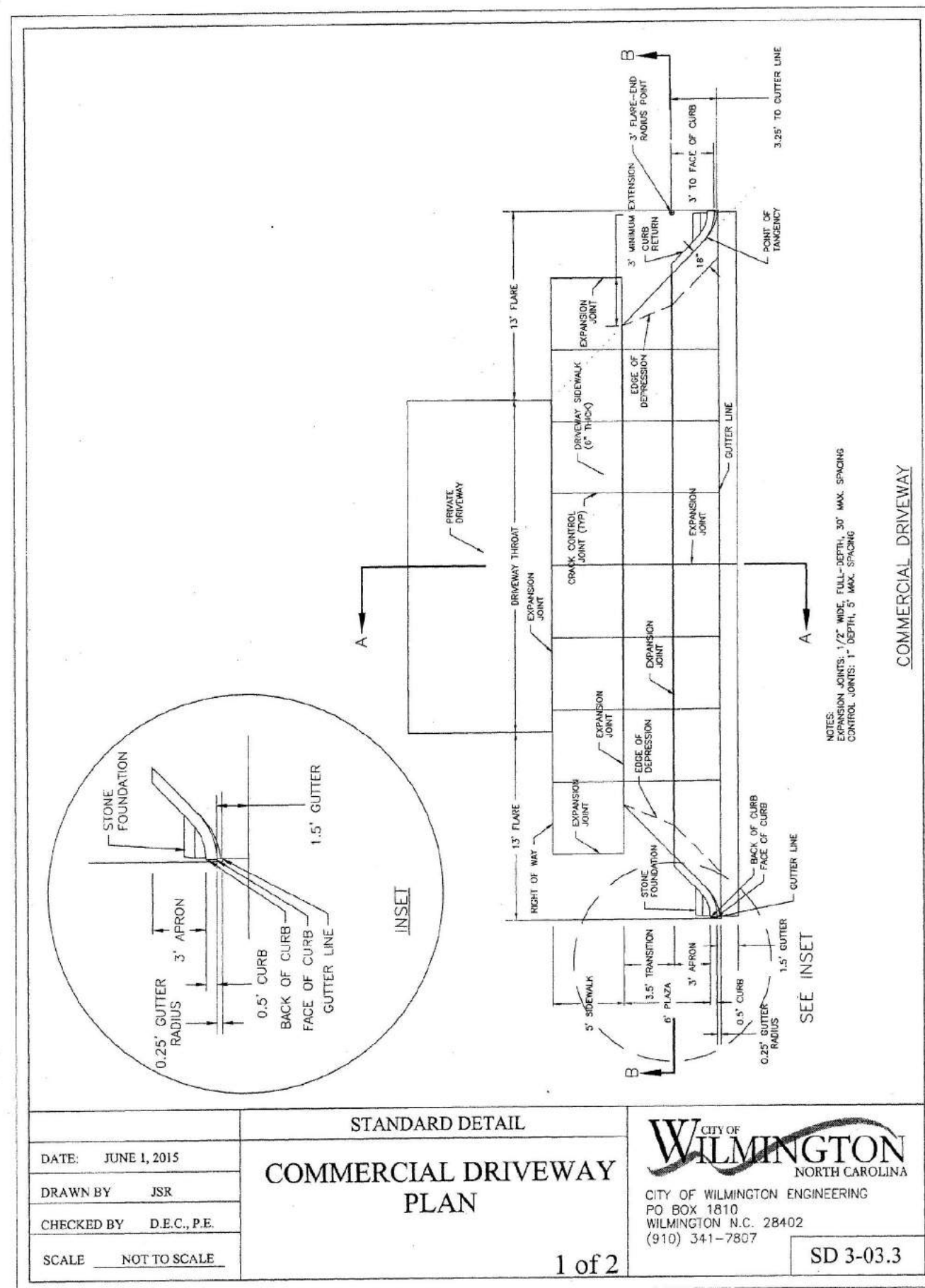
EXCLUSIVELY FOR:  
KIDS MAKING IT  
617 CASTLE STREET  
WILMINGTON, NORTH CAROLINA 28401

PREPARED BY:



**ROMERO ARCHITECTURE**

209 martin street, #103  
wilmington, north carolina 28401  
910.228.3137  
www.romeroarchitecture.com



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

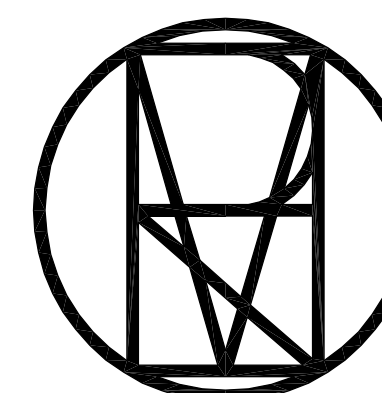
**DRAINAGE PLAN APPROVED**  
 CITY OF WILMINGTON  
 STORMWATER DISCHARGE PERMIT NOT REQUIRED  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SITE DETAILS FOR KIDS MAKING IT

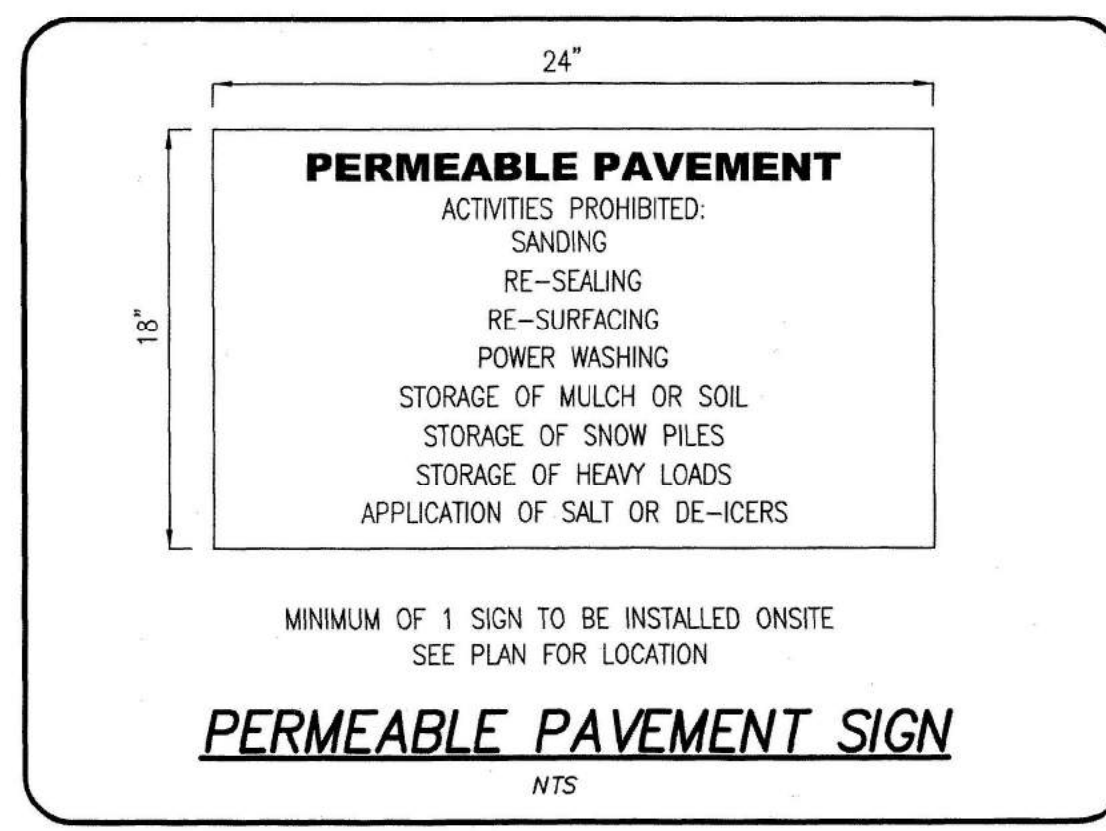
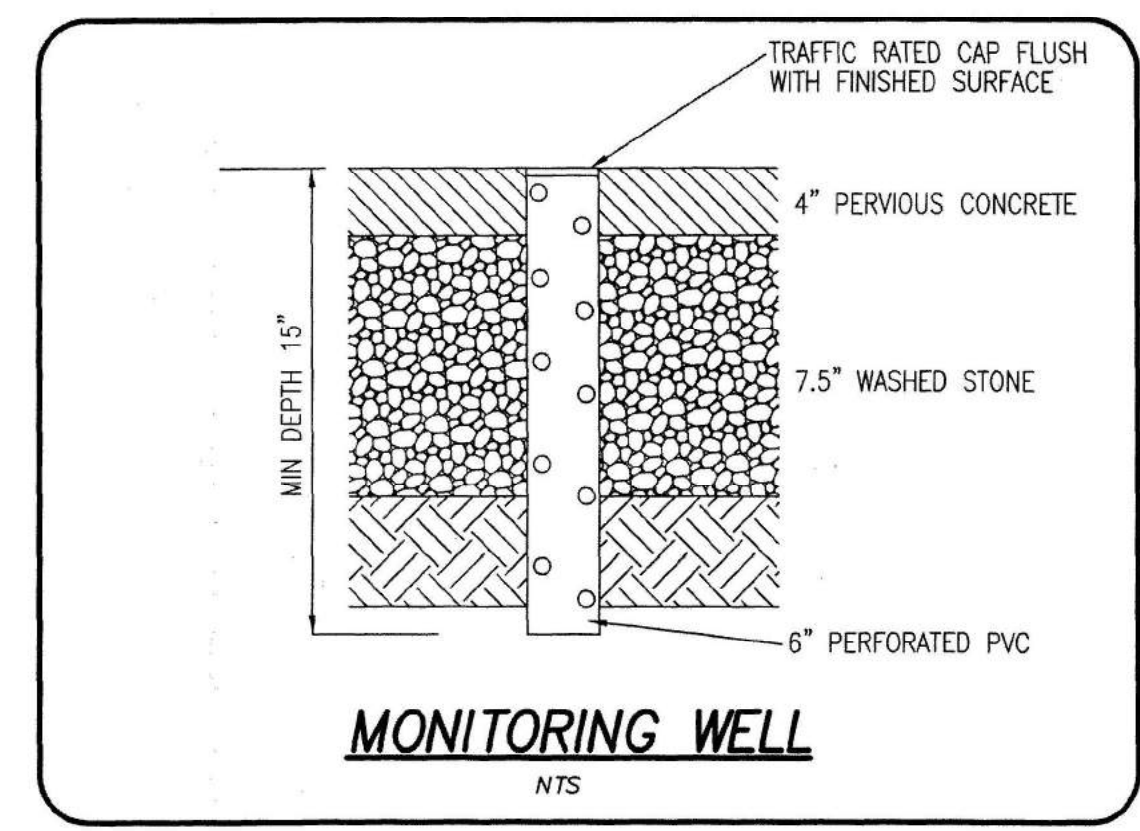
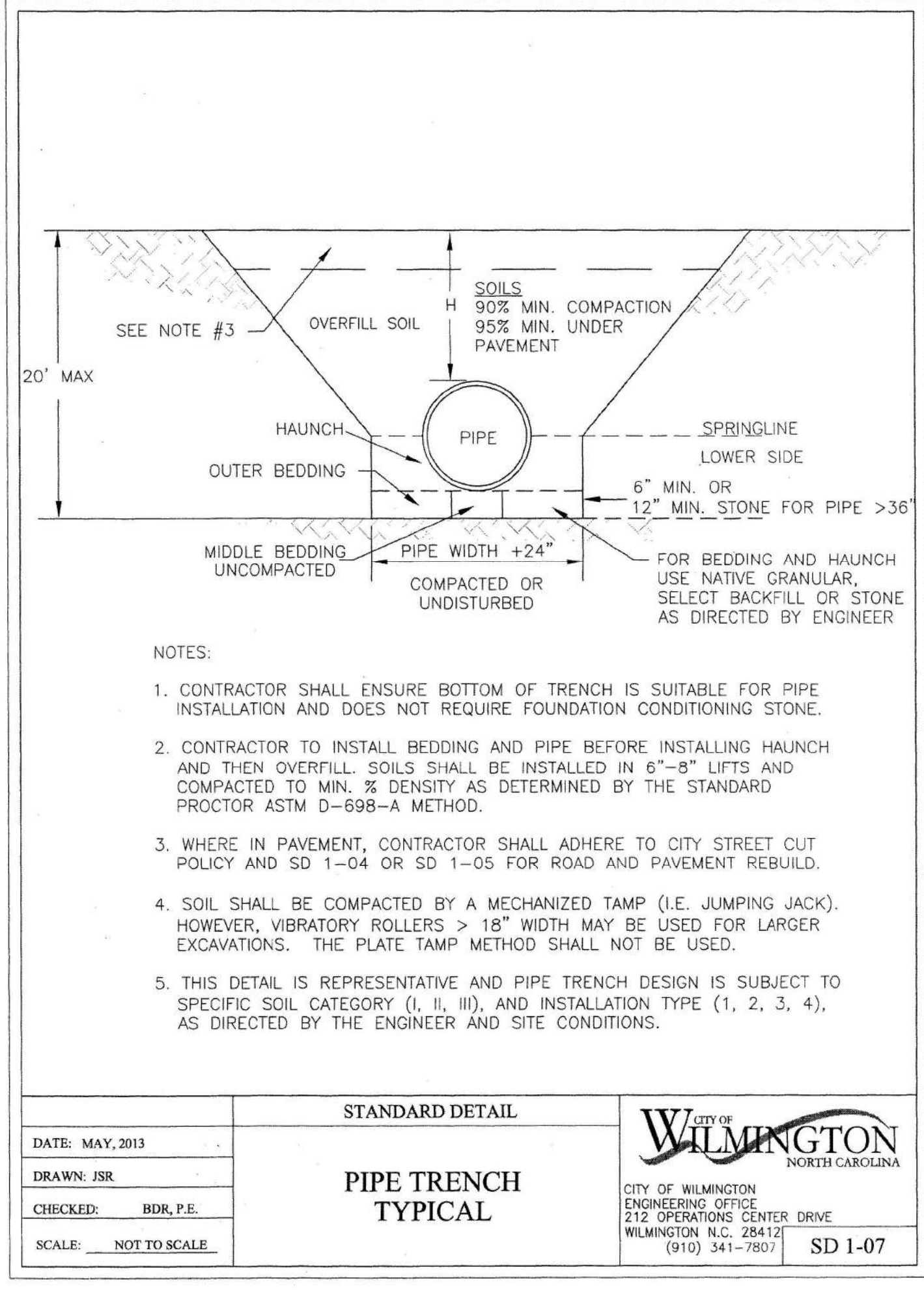
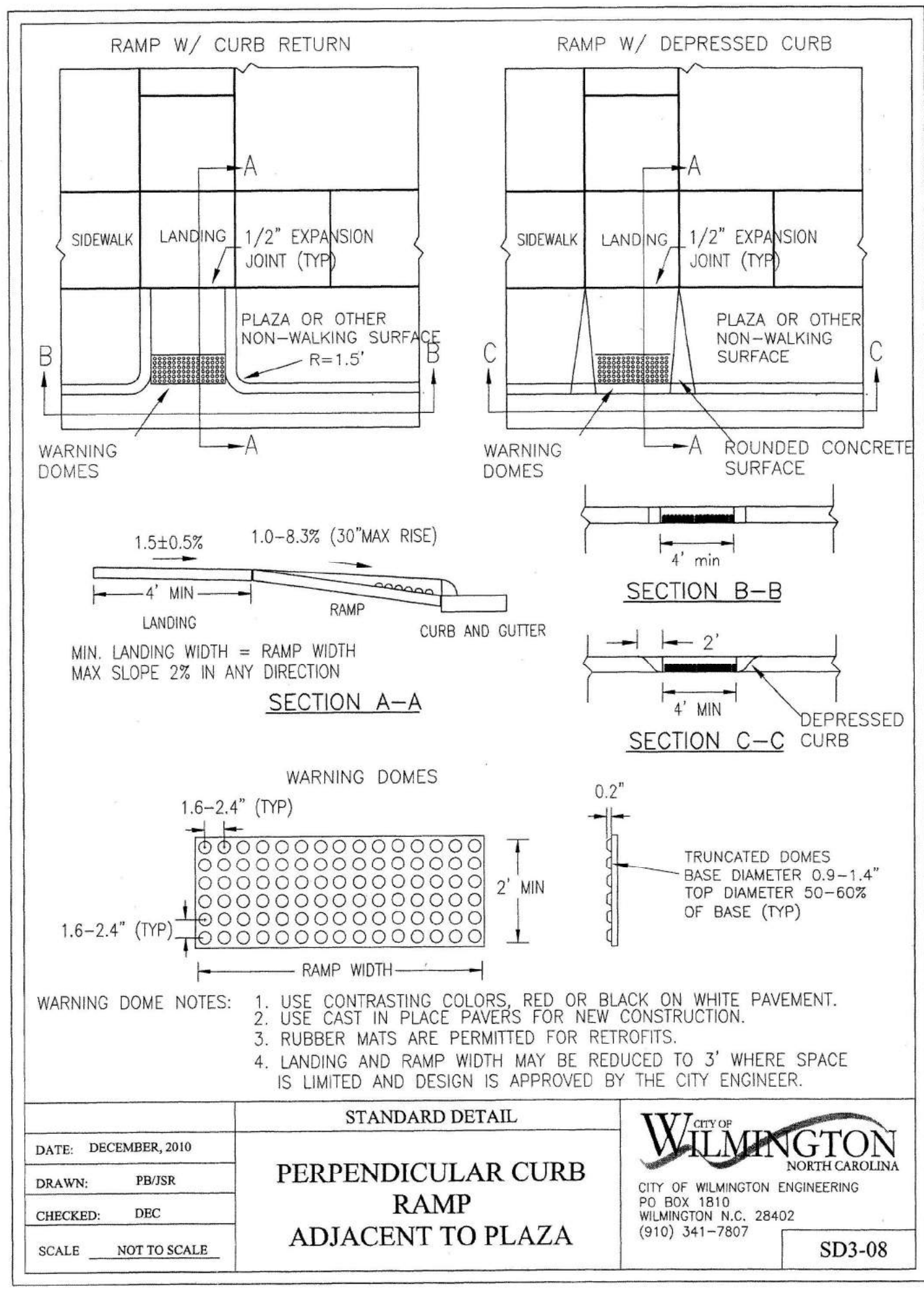
BEING LOT 5 & 6 AS RECORDED IN MAP BOOK II, PAGE II AND BOOK 5818, PAGE 0253 OF THE NEW HANOVER COUNTY REGISTRY CITY OF WILMINGTON IDENTIFIED BY PID: R05409-006-012-000 WILMINGTON TOWNSHIP - WILMINGTON NEW HANOVER COUNTY - NORTH CAROLINA JUNE 26, 2017

EXCLUSIVELY FOR: KIDS MAKING IT 617 CASTLE STREET WILMINGTON, NORTH CAROLINA 28401

PREPARED BY:



**ROMERO ARCHITECTURE**  
 209 martin street, #103  
 wilmington, north carolina 28401  
 910.228.3137  
 www.romeroarchitecture.com



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

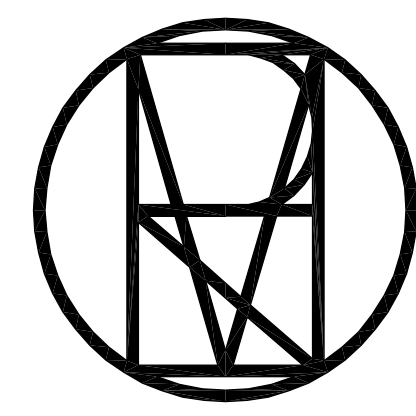
**DRAINAGE PLAN APPROVED**  
 CITY OF WILMINGTON  
 STORMWATER DISCHARGE PERMIT NOT REQUIRED

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**SITE DETAILS FOR KIDS MAKING IT**

BEING LOT 5 & 6 AS RECORDED IN MAP BOOK 11, PAGE 11 AND BOOK 5818, PAGE 0253 OF THE NEW HANOVER COUNTY REGISTRY CITY OF WILMINGTON IDENTIFIED BY PID: R05409-006-012-000 WILMINGTON TOWNSHIP - WILMINGTON NEW HANOVER COUNTY - NORTH CAROLINA JUNE 26, 2017

EXCLUSIVELY FOR: KIDS MAKING IT 617 CASTLE STREET WILMINGTON, NORTH CAROLINA 28401



**ROMERO ARCHITECTURE**  
 209 martin street, #103  
 wilmington, north carolina 28401  
 910.228.3137  
 www.romeroarchitecture.com



For each type of city call  
 permit shall be required  
 occupancy under project  
 conditions

Approved Construction Plan  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Title \_\_\_\_\_  
 Firm \_\_\_\_\_

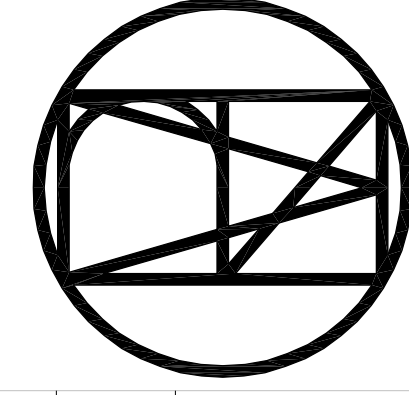
DRAINAGE PLAN  
 APPROVED  
 CITY OF WILMINGTON  
 STORMWATER DISCHARGE  
 PERMIT NOT REQUIRED



A 000 IMAGES

ISSUED FOR OWNER REVIEW  
 03.27.2017  
 ISSUED FOR PRICING  
 04.13.2017  
 ISSUED FOR PERMITS  
 05.24.2017  
 ISSUED FOR TENDER REVISION  
 06.24.2017  
 ISSUED FOR ENGINEERING

KIDS MAKING IT  
 617 SOUTH CASTLE STREET  
 WILMINGTON, NORTH CAROLINA 28401

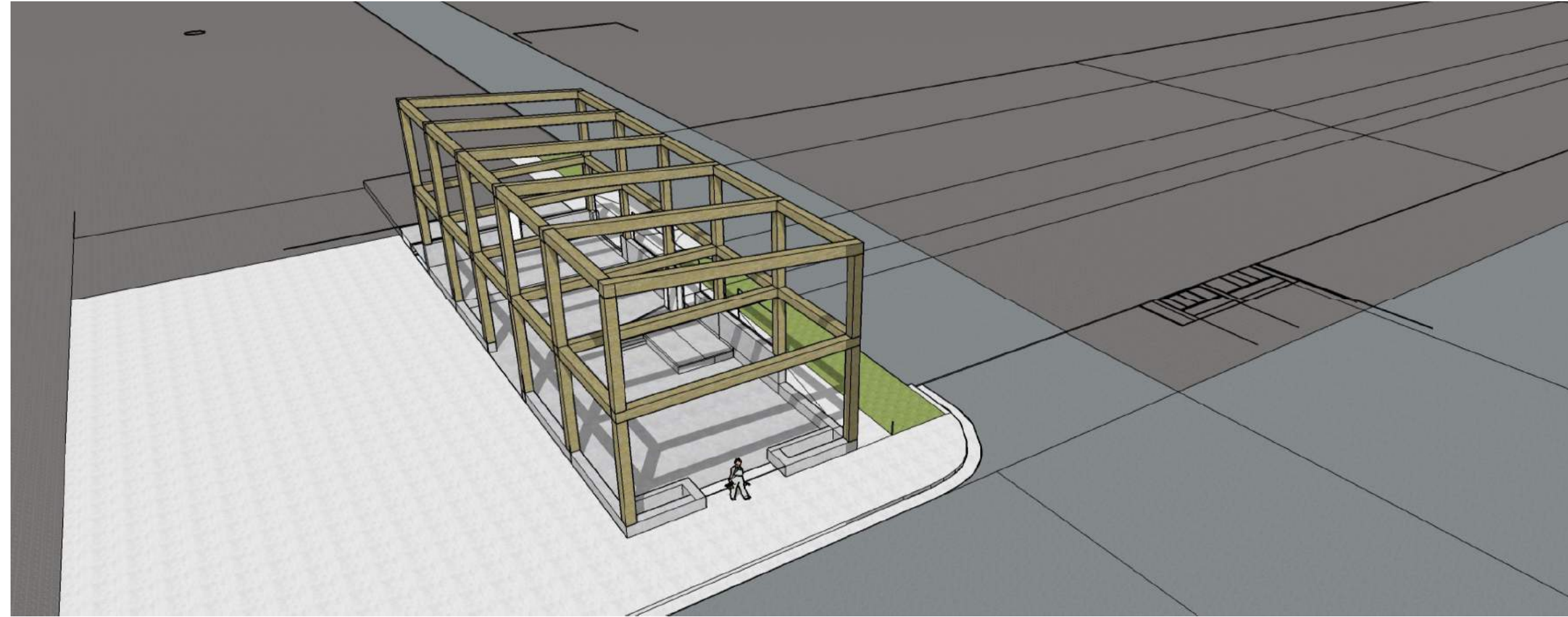


ROMERO  
 ARCHITECTURE

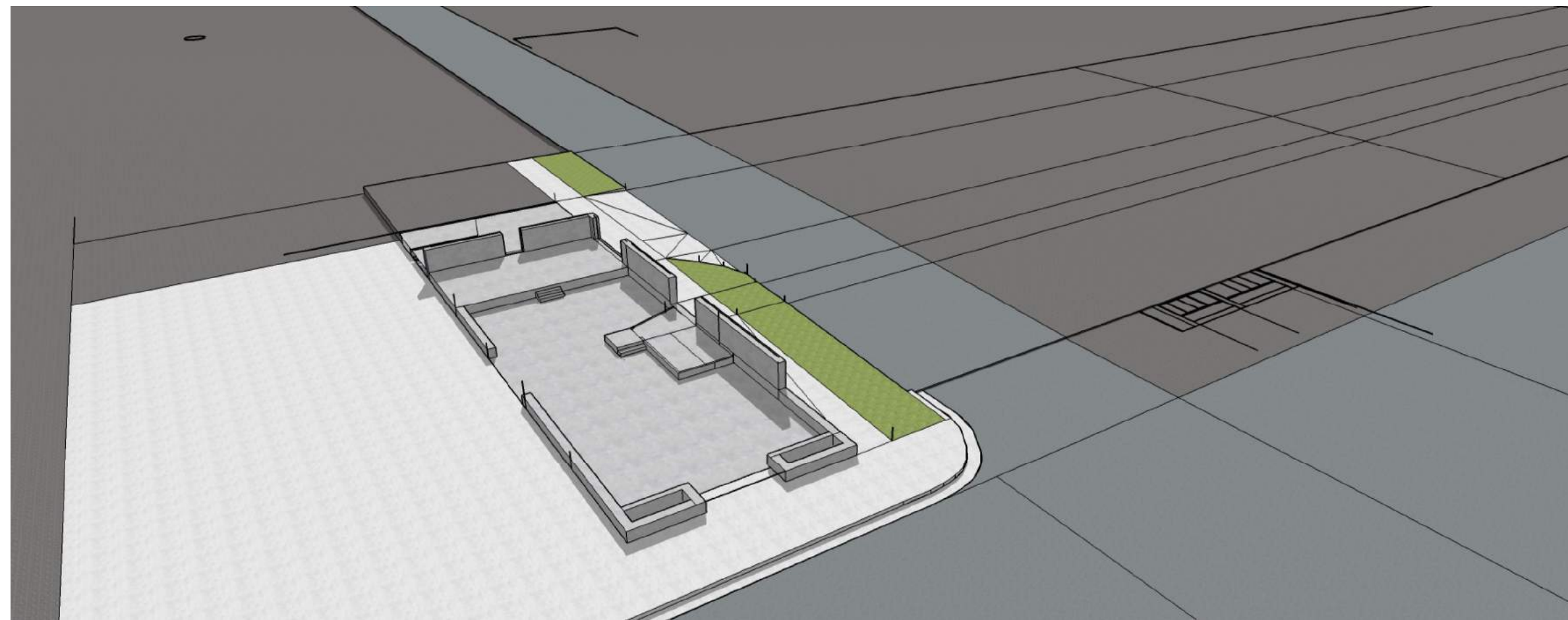
209 martin street, #103  
 wilmington, north carolina 28401  
 910.228.3137  
 www.romeroarchitecture.com



FINISHED  
PRODUCT



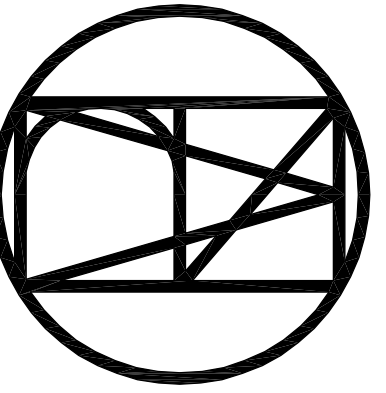
WOOD +  
CONCRETE  
STRUCTURE



CONCRETE  
STRUCTURE



**ROMERO  
ARCHITECTURE**  
209 martin street, #103  
wilmington, north carolina 28401  
910.228.3127  
www.romeroarchitecture.com



**KIDS MAKING IT**  
617 SOUTH CASTLE STREET  
WILMINGTON, NORTH CAROLINA 28401



**DRAINAGE PLAN  
APPROVED**  
CITY OF WILMINGTON  
STORMWATER DISCHARGE  
PERMIT NOT REQUIRED

Approved Construction Plan  
Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Title: \_\_\_\_\_  
File: \_\_\_\_\_

For each type of city call  
permit shall be required  
occupancy under project  
accessions

**A 001 IMAGES**

ISSUED FOR OWNER REVIEW  
03.27.2017  
ISSUED FOR PRICING  
04.13.2017  
ISSUED FOR PERMITS  
05.24.2017  
ISSUED FOR TIMBER REVISION  
06.24.2017  
ISSUED FOR ENGINEERING



**GROUND FLOOR PLAN**  
SCALE 1/4" = 1'-0"

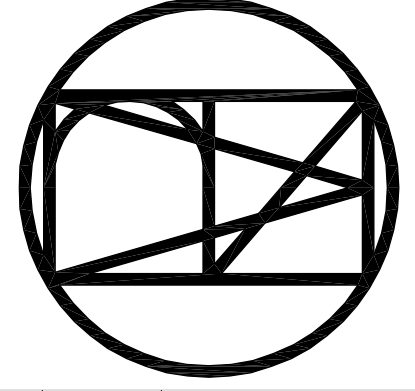


**DRAINAGE PLAN**  
APPROVED  
CITY OF WILMINGTON  
STORMWATER DISCHARGE  
PERMIT NOT REQUIRED

Approved Construction Plan  
Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Planning: \_\_\_\_\_ Title: \_\_\_\_\_  
Trk#: \_\_\_\_\_  
File: \_\_\_\_\_

For each type of utility cut  
permit shall be required  
occupancy under project  
conditions.

**ROMERO ARCHITECTURE**  
209 martin street #103  
wilmington, north carolina 28401  
910.228.3127  
www.romeroarchitecture.com

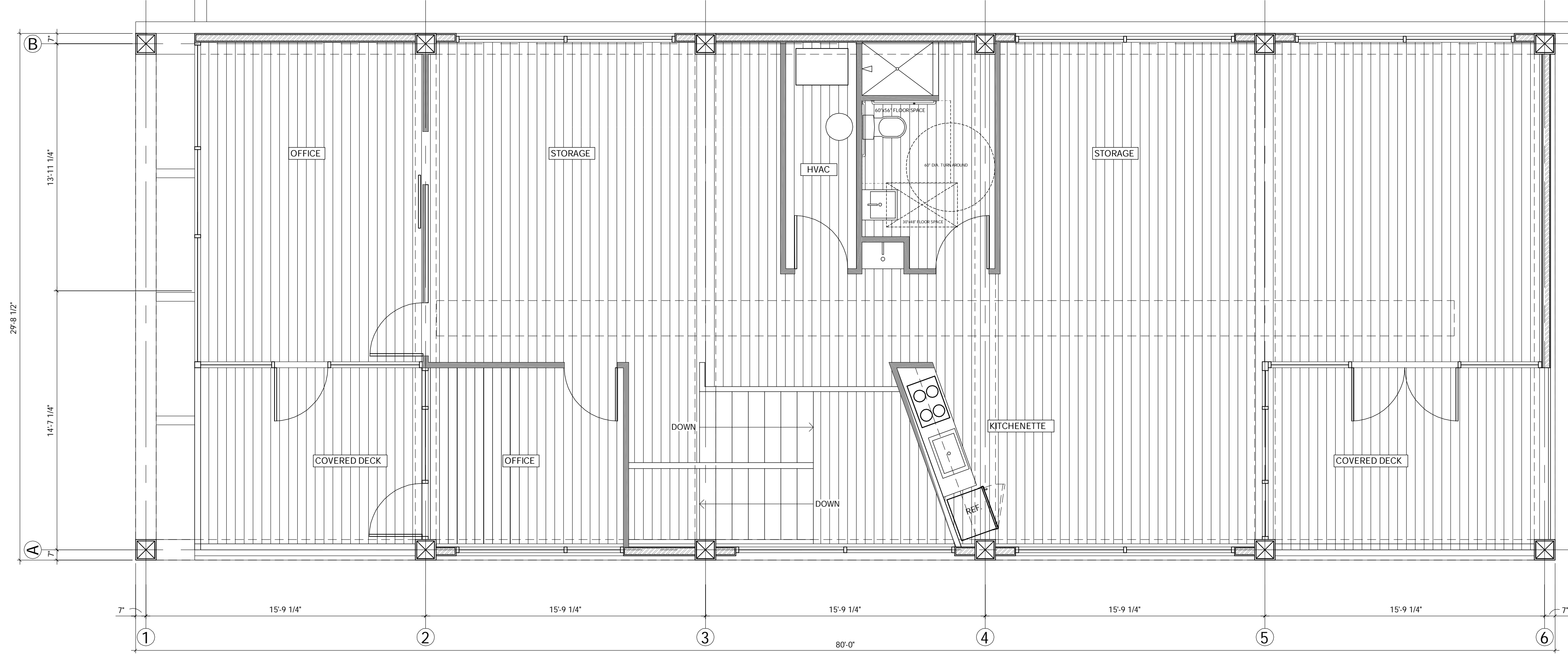


**KIDS MAKING IT**  
617 SOUTH CASTLE STREET  
WILMINGTON, NORTH CAROLINA 28401

**A 101 GROUND FLOOR PLAN**

ISSUED FOR OWNER REVIEW  
03.27.2017  
ISSUED FOR PRICING  
04.13.2017  
ISSUED FOR PERMITTING  
05.24.2017  
ISSUED FOR TENDER REVISION  
06.24.2017  
ISSUED FOR ENGINEERING





NEW CONSTRUCTION      EXISTING BUILDING

**SECOND FLOOR PLAN**  
SCALE 1/4" = 1'-0"



**DRAINAGE PLAN APPROVED**  
CITY OF WILMINGTON  
STORMWATER DISCHARGE PERMIT NOT REQUIRED

Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Env. \_\_\_\_\_

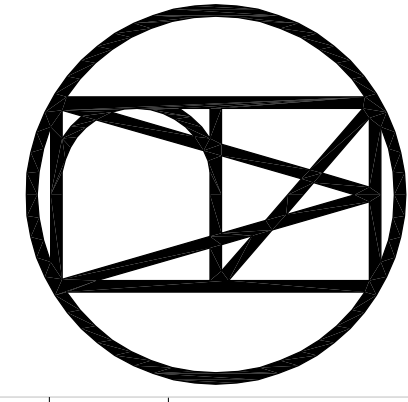
For each type of final plan, the applicant must submit the required occupancy and project acceptance.

**A 102 SECOND FLOOR PLAN**

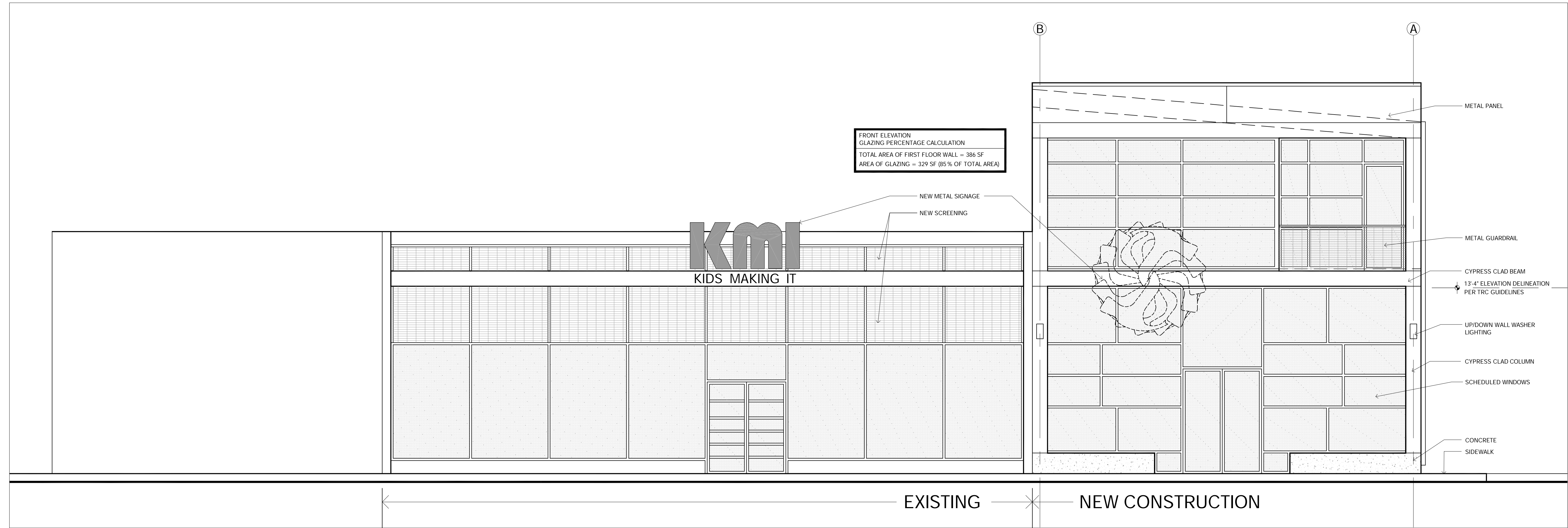
ISSUED FOR OWNER REVIEW 03.27.2017  
ISSUED FOR PRICING 04.13.2017  
ISSUED FOR PERMITS 05.24.2017  
ISSUED FOR TIMBER REVISION 06.24.2017  
ISSUED FOR ENGINEERING

**KIDS MAKING IT**

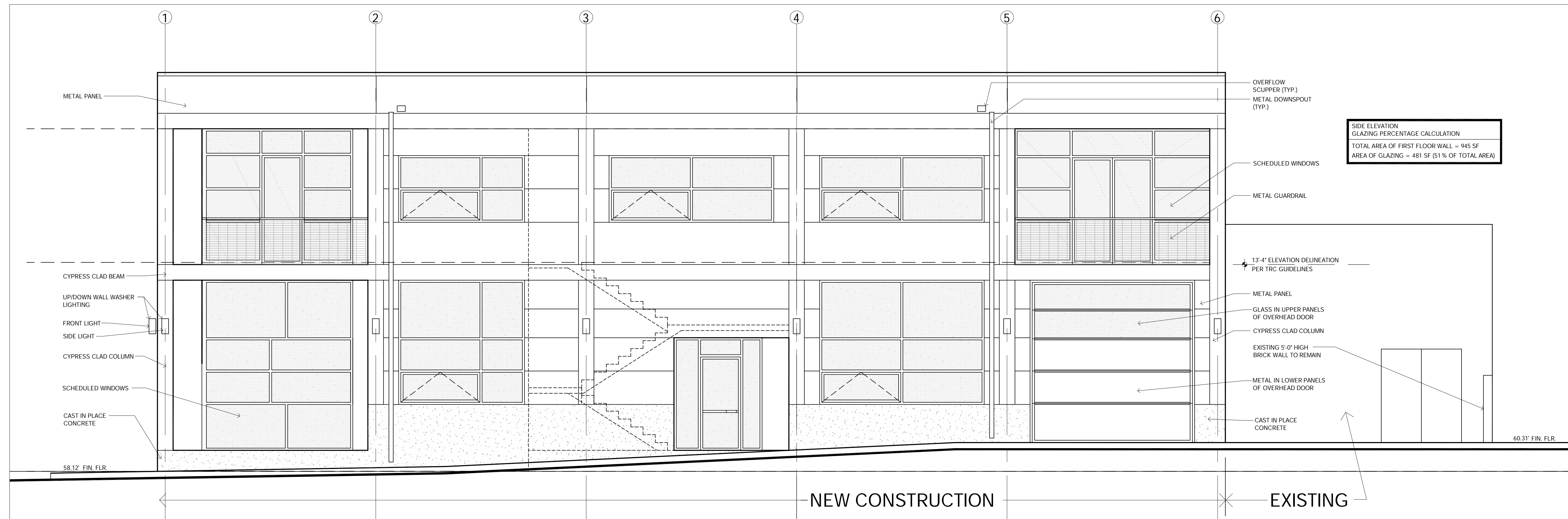
617 SOUTH CASTLE STREET  
WILMINGTON, NORTH CAROLINA 28401



**ROMERO ARCHITECTURE**  
209 martin street #103  
wilmington, north carolina 28401  
910.228.3127  
www.romeroarchitecture.com

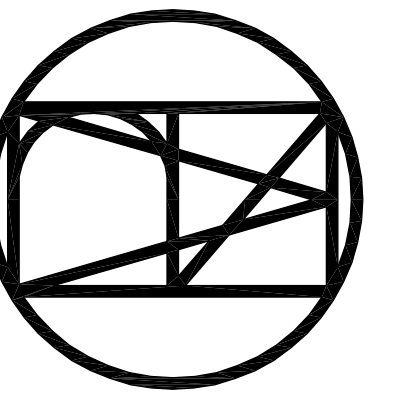


2 SOUTH ELEVATION  
SCALE 1/4" = 1'-0"



1 EAST ELEVATION  
SCALE 1/4" = 1'-0"

**ROMERO ARCHITECTURE**  
209 martin street, #103  
wilmington, north carolina 28401  
910.228.3137  
www.romeroarchitecture.com



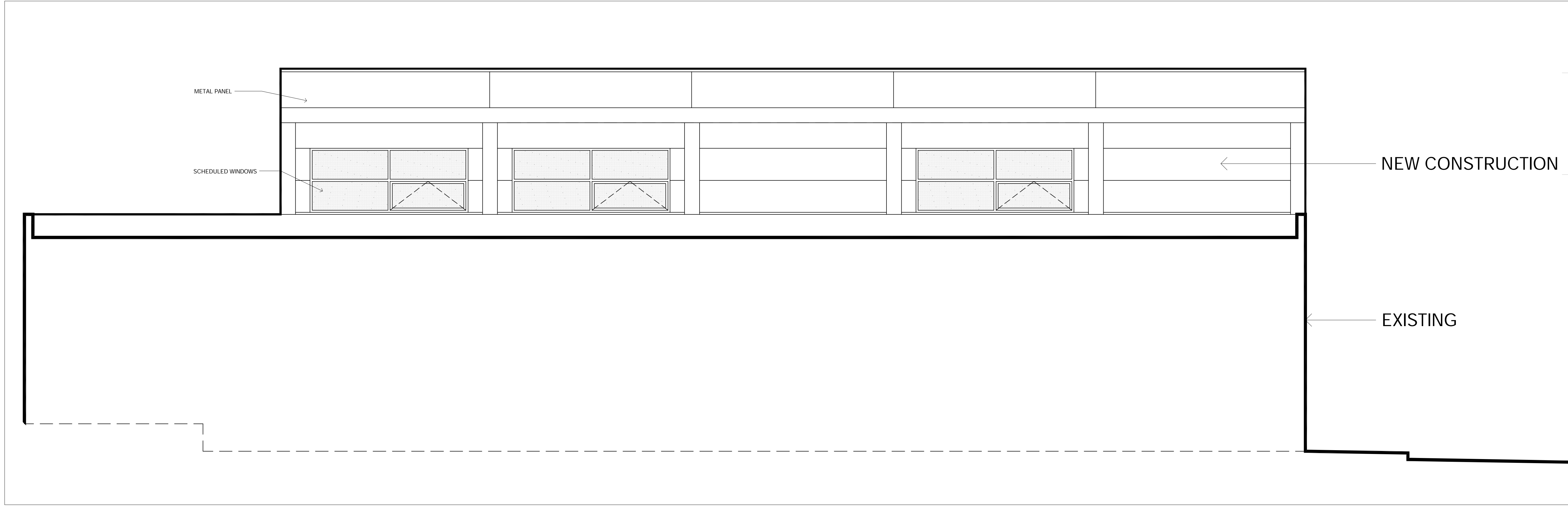
DRAINAGE PLAN  
APPROVED  
CITY OF WILLINGTON  
STORMWATER DISCHARGE  
PERMIT NOT REQUIRED

Approved Construction Plan  
Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Title: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

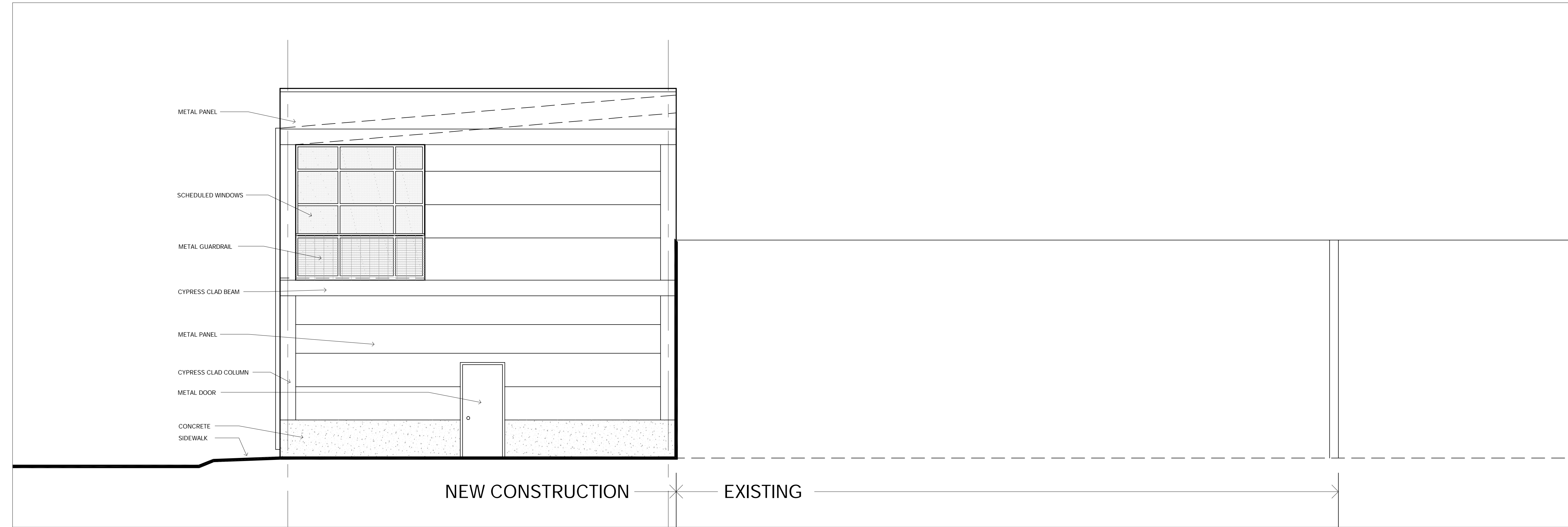
For each type of utility  
permit shall be required  
occupancy under project  
conditions.

KIDS MAKING IT  
617 SOUTH CASTLE STREET  
WILMINGTON, NORTH CAROLINA 28401

A 201 ELEVATIONS  
ISSUED FOR OWNER REVIEW  
03.27.2017  
ISSUED FOR PRICING  
04.13.2017  
ISSUED FOR PERMITS  
05.24.2017  
ISSUED FOR TIMBER REVISION  
06.24.2017  
ISSUED FOR ENGINEERING



2 west ELEVATION  
SCALE 1/4" = 1'-0"



1 NORTH ELEVATION  
SCALE 1/4" = 1'-0"



**ROMERO ARCHITECTURE**  
209 martin street, #103  
wilmington, north carolina 28401  
910.228.3137  
www.romeroarchitecture.com



**DRAINAGE PLAN**  
APPROVED  
CITY OF WILMINGTON  
STORMWATER DISCHARGE  
PERMIT NOT REQUIRED

Approved Construction Plan  
Name \_\_\_\_\_ Date \_\_\_\_\_  
Title \_\_\_\_\_  
Signature \_\_\_\_\_  
Date \_\_\_\_\_

For each type of city use  
permit shall be required  
occupancy under project  
conditions.

**KIDS MAKING IT**  
617 SOUTH CASTLE STREET  
WILMINGTON, NORTH CAROLINA 28401

**A 202 ELEVATIONS**  
ISSUED FOR OWNER REVIEW 03.27.2017  
ISSUED FOR PRICING 04.13.2017  
ISSUED FOR PERMITS 05.24.2017  
ISSUED FOR TENDER REVISION 06.24.2017  
ISSUED FOR ENGINEERING